

**BUILDING CODE ANALYSIS**

<b>REFERENCE CODES</b> 2013 CALIFORNIA BUILDING CODE 2012 INTERNATIONAL BUILDING CODE	<b>AUTOMATIC SPRINKLER SYSTEM</b> <b>SECTION 903.2.1</b> AN AUTOMATIC FIRE SUPPRESSION SYSTEM IS REQUIRED AND PROVIDED
<b>OCCUPANCY USE AND CLASSIFICATION</b> <b>SECTION 310 &amp; 311</b> THE PROPOSED BUILDING CONSISTS OF 3 STORIES OF HOTEL OVER 1 STORY OF VALET PARKING	<b>AUTOMATIC SPRINKLER SYSTEM INCREASE MODIFICATION</b> <b>SECTION 506.3</b> THE AREAS LIMITED BY TABLE 503 MAY BE INCREASED BY AN ADDITIONAL 200% FOR BUILDINGS WITH MORE THAN ONE STORY ABOVE GRADE PLANE
<b>LEVEL 0 (GROUND LEVEL)</b> PARKING ..... S-2	MAXIMUM ALLOWABLE AREA WITH INCREASE 36,000 SF PER FLOOR
<b>LEVELS 1-3</b> HOTEL ..... R-1	<b>FIRE RESISTANCE</b> <b>FIRE SEPARATION DISTANCE: WALLS</b> <b>TABLE 602</b> 5 < x < 10 ft. = 1 hour x > 10 ft. = 0 hours
<b>CONSTRUCTION TYPE</b> <b>SECTION 602</b> Parking ..... TYPE V-A Hotel ..... TYPE V-A	<b>FIRE SEPARATION DISTANCE: OPENINGS</b> <b>TABLE 705.B</b> 3 ft. < x < 5 ft. = 15% allowable area can be unprotected openings 5 ft. < x < 10 ft. = 25% allowable area can be unprotected openings 10 ft. < x < 15 ft. = 45% allowable area can be unprotected openings
<b>TABLE 601</b> Structural Frame, Bearing Walls & Floor Construction: ..... 1-Hour Rating Interior non-load bearing partitions: ..... No Protection Required Roof Construction: ..... 1-Hour rating	
<b>ALLOWABLE HEIGHT AND AREA</b> <b>SECTION 503</b> <b>HOTEL</b> CONSTRUCTION TYPE ..... TYPE V-A OCCUPANCY ..... TYPE R-1 BASIC ALLOWABLE AREA ..... 12,000 SF PER STORY BASIC ALLOWABLE HEIGHT ..... 3 STORIES	
<b>PARKING</b> CONSTRUCTION TYPE ..... TYPE V-A OCCUPANCY ..... TYPE S-2 BASIC ALLOWABLE AREA ..... 21,000 SF BASIC ALLOWABLE HEIGHT ..... 4 STORIES	
<b>ACTUAL BUILDING HEIGHT</b> HOTEL (R-1): ..... THREE LEVELS; MAXIMUM HEIGHT > 40 FT PARKING (S-2): ..... ONE LEVEL	



**RESTAURANT AND PLAZA PERSPECTIVE**  
CORNER OF GRAND AVE. AND CENTRAL AVE.

**ZONING CODE ANALYSIS**

PROPERTY ADDRESS: 157 Grand Avenue		
APN: 006-173-001		
GENERAL PLANNING AREA:		
ZONING DESIGNATION: C-1-T		
<b>ITEM</b>	<b>PERMITTED / REQUIRED</b>	<b>PROVIDED</b>
Lot Area: ..... As per development permit	33,875 SF	33,875 SF
Building Height Limit: ..... 40' From Ext. Grade (With site coverage < 75%)	40'	40'
Maximum Lot Coverage: ..... 25,406 SF (75% of lot)	24,761 SF	(73% of lot)
Front Yard Setback (Street X) ..... 0'	0'	0'
Street Side yard Setback (STREET Y & Z) ..... 0'	0'	0'
Rear Yard Setback (New Property Line) ..... 0'	0'	0'
Parking Spaces: ..... 78	83	

**BUILDING INFORMATION**

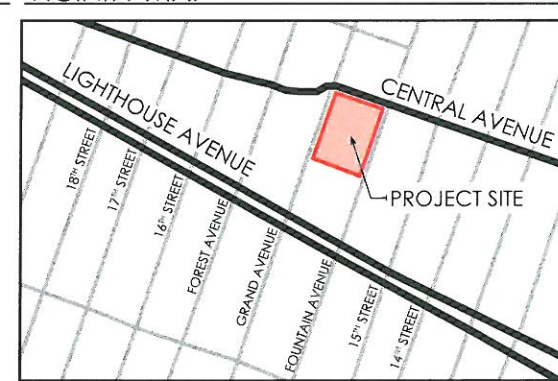
<b>GROSS BUILDING AREA</b>	
<b>HOTEL: 125 ROOMS</b>	
GROUND FLOOR - COMMON: 2,680 SF	
GROUND FLOOR - MAINT.: 2,243 SF	
SECOND FLOOR: 15,842 SF	
THIRD FLOOR: 22,360 SF	
FOURTH FLOOR: 21,735 SF	
TOTAL: 64,797 SF	
<b>RESTAURANT:</b>	
GROUND LEVEL: 2,475 SF	
<b>PARKING:</b>	
GROUND LEVEL: 15,590 SF	
DEDICATED LOT: 8,427 SF	
<b>UNIT COUNT</b>	
SECOND FLOOR: 31 ROOMS	
THIRD FLOOR: 48 ROOMS	
FOURTH FLOOR: 46 ROOMS	
TOTAL: 125 ROOMS	
<b>LOT SIZE</b> ..... 33,875 SF	
<b>TOTAL LANDSCAPE AREA</b> ..... 9,114 SF	

<b>PARKING CALCULATIONS:</b>	
Per Pacific Grove Municipal Code	
Section 23.64.190 (g)	
Parking space required for other uses allowed in any district and not set forth above shall be determined by the planning commission and set forth as a condition to the granting of the use of permit for such use.	
Section 23.64.190 (e)	
Not less than one parking space for each four guest rooms in any hotel	
<b>PARKING REQUIRED</b>	
EMPLOYEE ..... 5	
1 / 4 GUEST ROOMS ..... 125 ROOMS ..... 32	
1 / 150 SF MEETING ..... 931 SF ..... 6	
1 / 300 SF KITCHEN ..... 875 SF ..... 3	
1 / 50 SF DINING ..... 1,600 SF ..... 32	
TOTAL: 78	
<b>PARKING PROVIDED</b>	
On-Site Valet ..... 55	
Off-Site Valet ..... 28	
TOTAL ..... 83	

**PROJECT INFORMATION**

<b>OWNER:</b>	
MR. NADER AGHA	
449 ALVARADO STREET	
MONTEREY, CA 93490	
<b>ARCHITECT:</b>	
VICTOR MONTGOMERY AIA	
RRM DESIGN GROUP	
3765 SOUTH HIGUERA STREET	
SUITE 102	
SAN LUIS OBISPO, CA 93401	
<b>SITE INFORMATION:</b>	
STREET ADDRESS: 157 GRAND AVE.	
APN: 006-173-001	
ZONING: C-1-T	

**VICINITY MAP**



**SHEET INDEX**

- A.1 TITLE SHEET
- A.2 ARCHITECTURAL SITE PLAN
- A.3 OFF-SITE PARKING SITE PLAN
- A.4 HOTEL ENTRY PERSPECTIVE
- L.1 CONCEPTUAL LANDSCAPE PLAN
- L.2 CONCEPTUAL PLANTING PLAN
- A.5 GROUND FLOOR PLAN
- A.6 SECOND FLOOR PLAN
- A.7 THIRD FLOOR PLAN
- A.8 FOURTH FLOOR PLAN
- A.9 ROOF PLAN
- A.10 BUILDING SECTIONS
- A.11 BUILDING ELEVATIONS
- A.12 BUILDING ELEVATIONS
- A.13 COLORS AND MATERIALS

**RECEIVED**

MAR 14 2016

COMMUNITY DEV. DEPT.



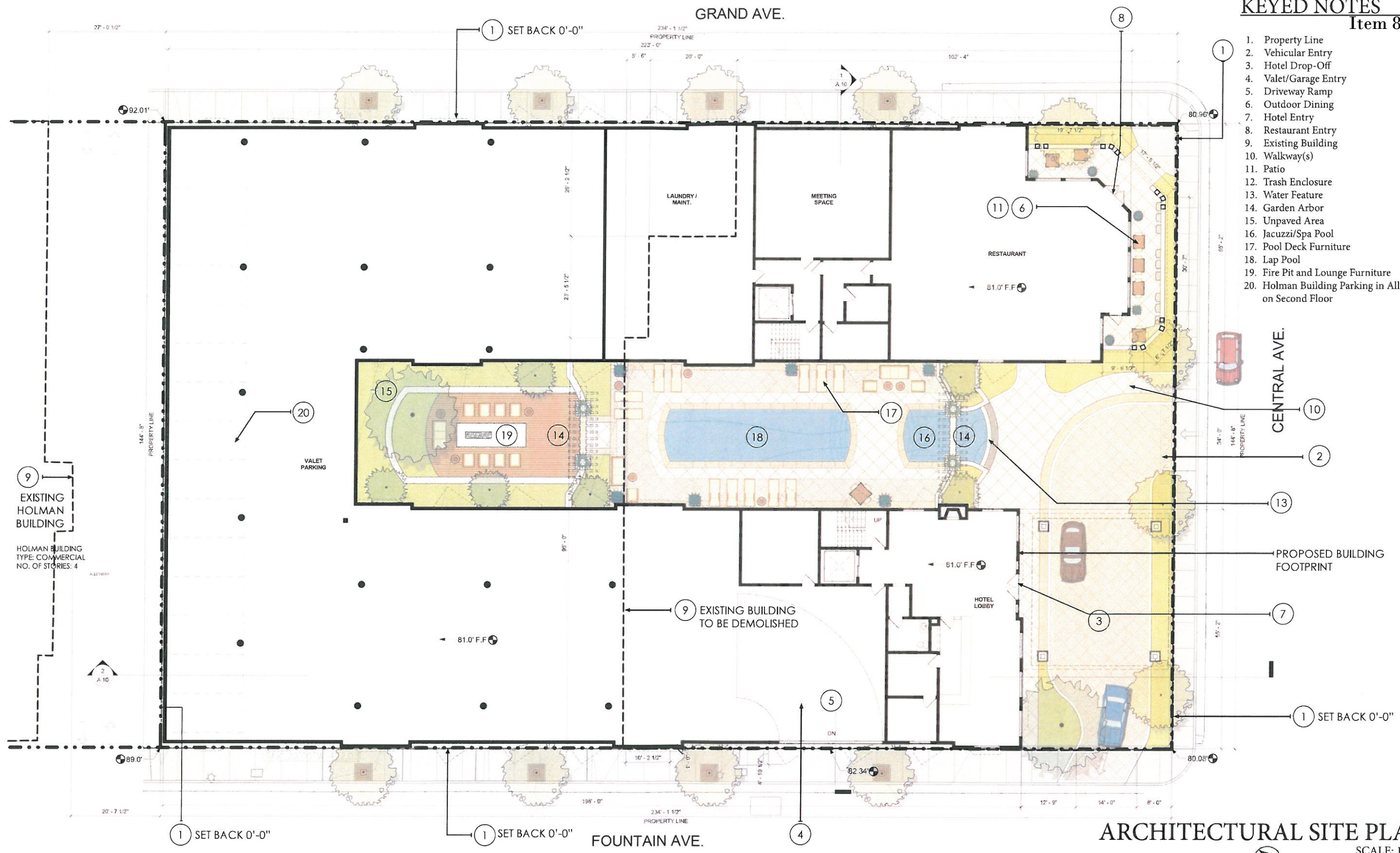
0123-01-CO15 DATE: MARCH 14, 2016

PACIFIC GROVE HOTEL

A.1

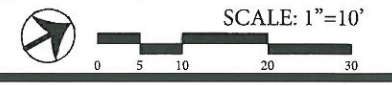
**KEYED NOTES**  
Item 8a

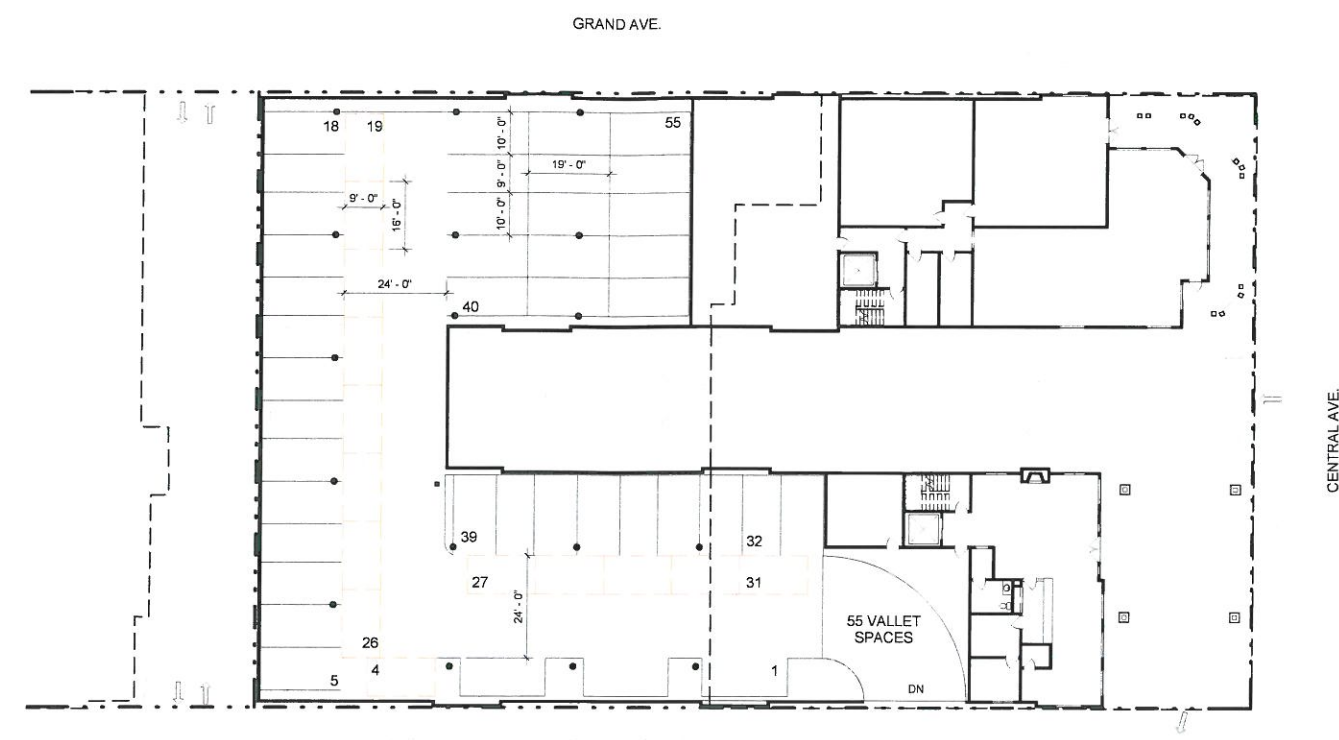
1. Property Line
2. Vehicular Entry
3. Hotel Drop-Off
4. Valet/Garage Entry
5. Driveway Ramp
6. Outdoor Dining
7. Hotel Entry
8. Restaurant Entry
9. Existing Building
10. Walkway(s)
11. Patio
12. Trash Enclosure
13. Water Feature
14. Garden Arbor
15. Unpaved Area
16. Jacuzzi/Spa Pool
17. Pool Deck Furniture
18. Lap Pool
19. Fire Pit and Lounge Furniture
20. Holman Building Parking in Alleyway on Second Floor



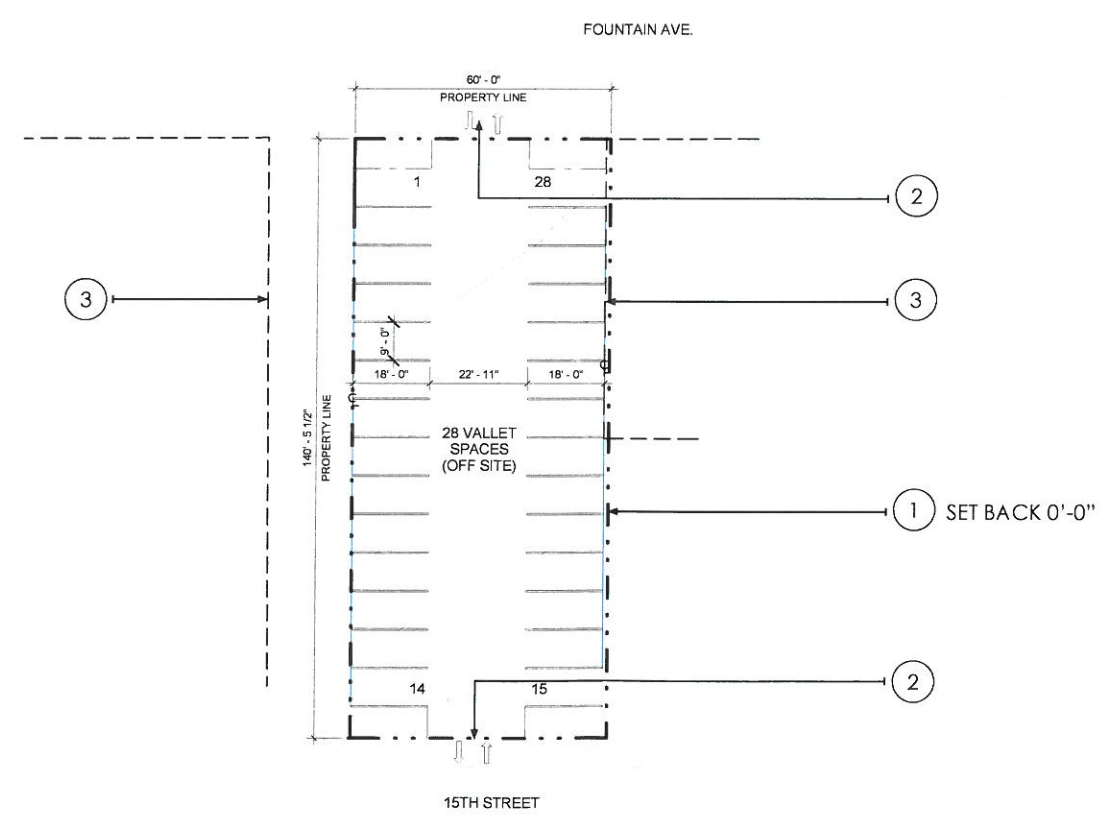
**ARCHITECTURAL SITE PLAN**

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- KEYED NOTES**
1. Property Line
  2. Valet/Garage Entry
  3. Existing Building



OFF-SITE PARKING SITE PLAN  
**RECEIVED**  SCALE: 1"=20'  




HOTEL ENTRY PERSPECTIVE  
CORNER OF CENTRAL AVE. AND FOUNTAIN AVE.

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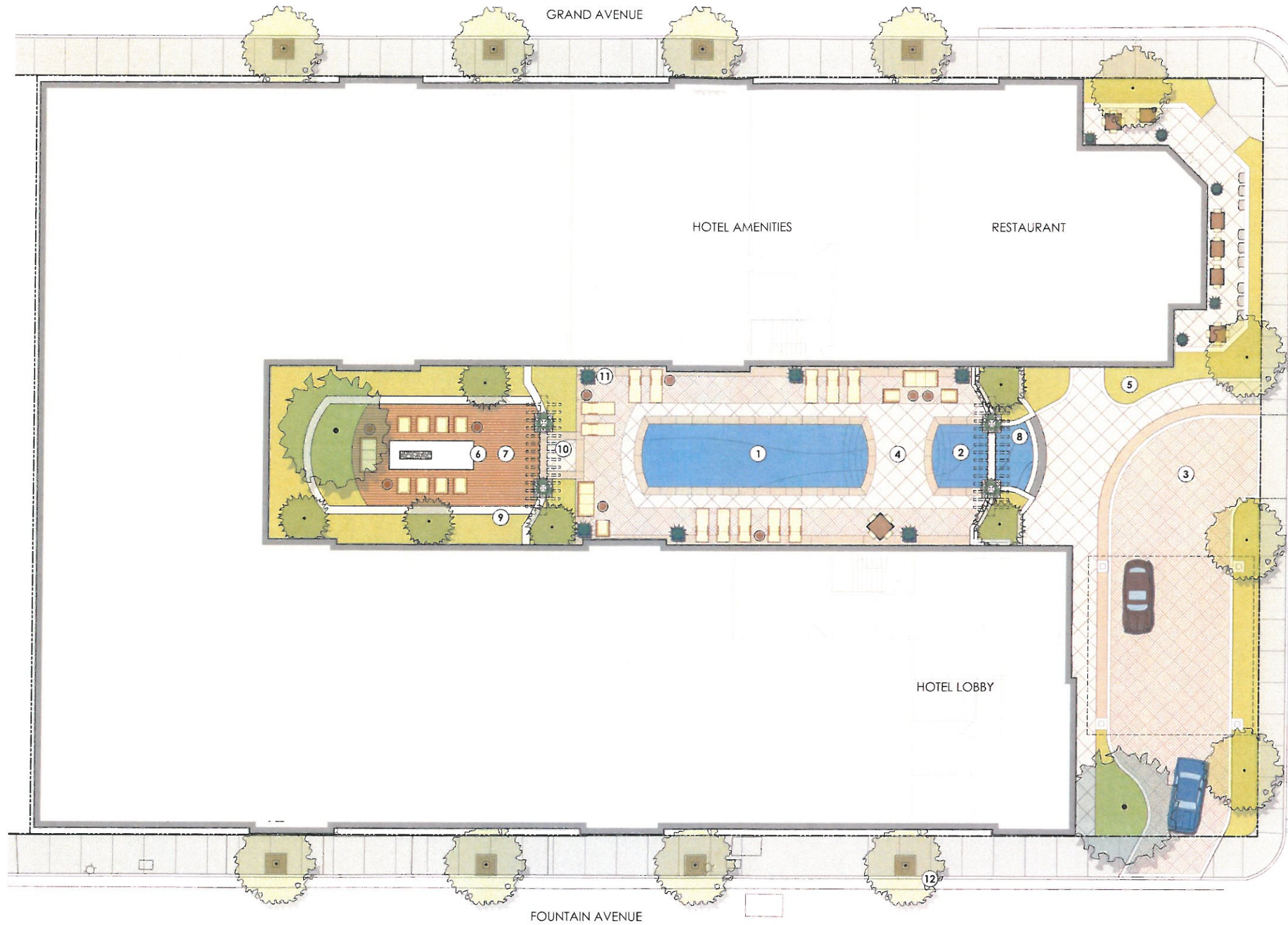
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0123-01-CO15

DATE: MARCH 14, 2016

# PACIFIC GROVE HOTEL



**IRRIGATION DESIGN CRITERIA:**  
 THE IRRIGATION DESIGN WILL COMPLY WITH THE LOCAL AND THE STATE WATER CONSERVATION REQUIREMENTS. THE WATER CONSERVATION METHOD FOR THE NEW LANDSCAPE PLANT MATERIAL HAS A LOW TO MEDIUM WATER USE.

A WEATHER SENSING, 'SMART CONTROLLER' WILL BE USED TO MONITOR THE IRRIGATION WATER AND MANAGE DAILY WATER CONSUMPTION TO THE MINIMUM REQUIREMENTS FOR EACH HYDROZONE.

ALL TREES, POTTERY, SHRUB AND GROUND COVER AREAS WILL BE IRRIGATED ON SEPARATE HYDROZONES, SO THAT ONCE ESTABLISHED, WATER CAN BE REGULATED IN A MORE EFFICIENT MANNER.

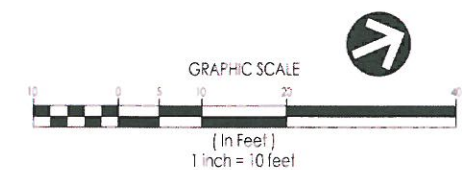
TREES AND POTTERY WILL BE IRRIGATED BY BUBBLERS. ALL OTHER PLANTING WILL RECEIVE DRIP IRRIGATION.



CENTRAL AVENUE

**LANDSCAPE PLAN KEY:**

- 1 POOL - 510sf
- 2 SPA - 120sf
- 3 DECORATIVE PERMEABLE PAVERS, TYP.
- 4 COLORED CONCRETE WITH SAWCUT PATTERN, TYP.
- 5 PLANTING, TYP. SEE PLANTING LEGEND.
- 6 FIRE TABLE
- 7 WOODEN DECKING WITH LOUNGE SEATING
- 8 WATER WALL FOUNTAIN WITH BUILT IN SEATING
- 9 LANDSCAPE PLANTER WALL, TYP.
- 10 DECORATIVE OVERHEAD ARBOR WITH VINES IN POTS AT BASE
- 11 POTTERY, TYP.
- 12 CITY APPROVED STREET TREE AND TREE GRATE, TYP.



CONCEPTUAL LANDSCAPE PLAN  
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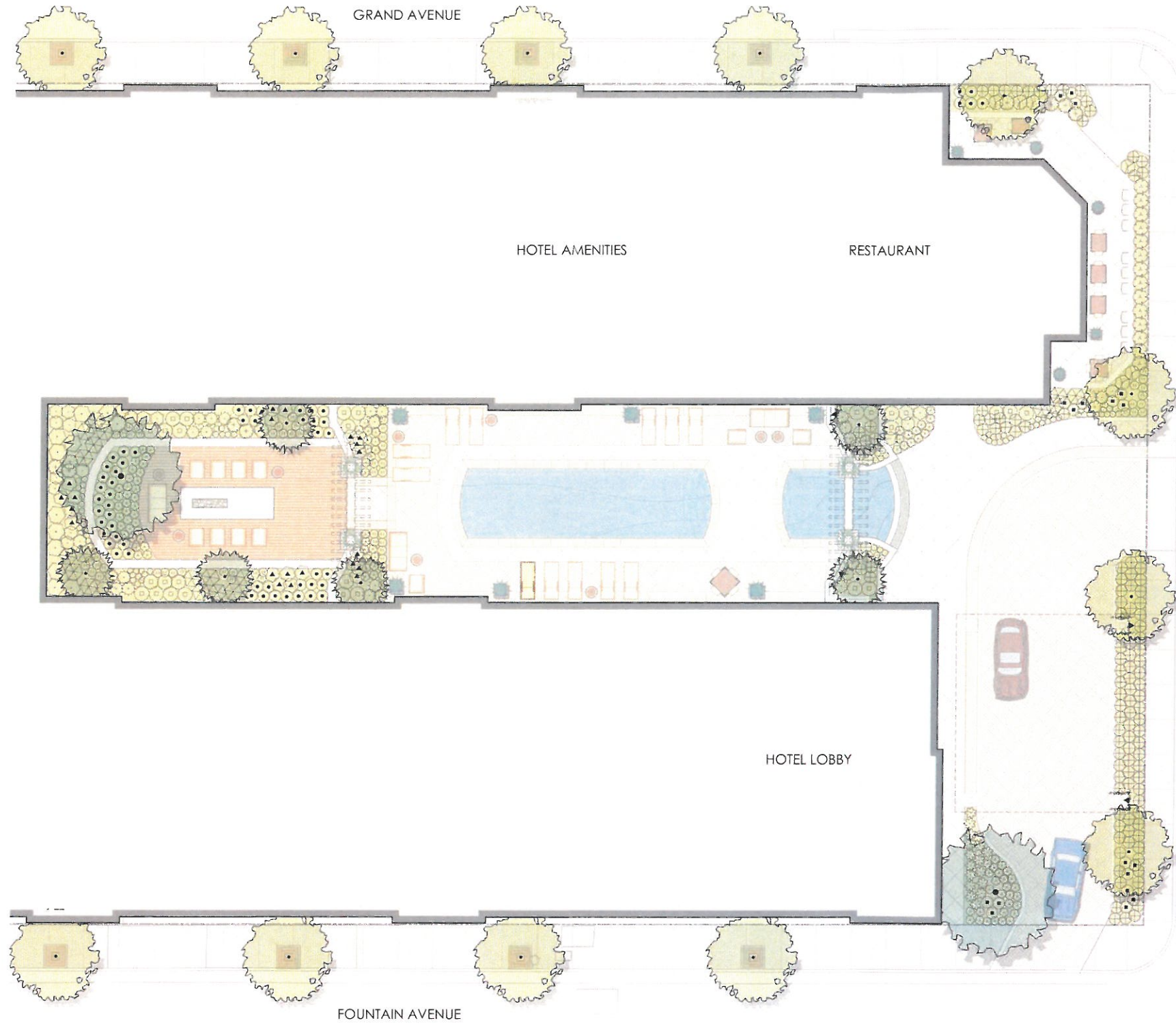
0123-01-CO15 DATE: MARCH 14, 2016

PACIFIC GROVE HOTEL

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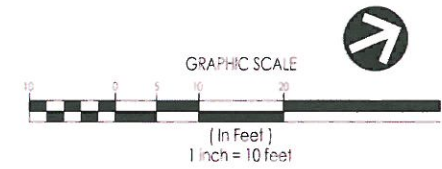
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L.1



**PROPOSED PLANT SCHEDULE:**

TREES	BOTANICAL NAME	COMMON NAME	CONT
	MAGNOLIA X SOULANGIANA	SALICER MAGNOLIA MULTI-TRUNK	36" BOX
	OLEA EUROPAEA 'SWAN HILL' TM	SWAN HILL OLIVE	FIELD GROWN
	PYRUS CALLERYANA 'CHANTICLEER'	CHANTICLEER PEAR	24" BOX
SHRUBS	BOTANICAL NAME	COMMON NAME	CONT
	ALPINIA ZERUMBET 'VAREGATA'	VARIEGATED SHELL GINGER	5 GAL
	ANKIGOZANTHOS SPECIES	KANGAROO PAW	5 GAL
	CAULOMAGROSTIS X ACUTIFLORA 'KARL FOERSTER'	FEATHER REED GRASS	5 GAL
	CAREX DIVULSA	BERKELEY SEDGE	1 GAL
	CHONDROPETALUM TECTORIUM 'EL CAMPO'	CAPE RUSH	5 GAL
	DIANELLA CAERULEA 'CASSA BLUE'	CASSA BLUE FLAX LILY	3 GAL
	HARDENBERGIA VIOACEA	LILAC VINE	15GA STAKED
	HEUCHERA SANGUINEA	CORAL BELLS	1 GAL
	HYDRANGEA QUERCIFOLIA 'SNOW QUEEN'	SNOW QUEEN OAKLEAF HYDRANGEA	5 GAL
	LEUCADENDRON X 'WILSON'S WONDER'	CONEBUSH	5 GAL
	LOMANDRA LONGIFOLIA 'BREEZE'	DWARF MAT RUSH	5 GAL
	LOROPETALUM CHINENSE 'PETITE DELIGHT'	PETITE DELIGHT FRINGE	5 GAL
	NEPHROLEPS CORDIFOLIA	TUBEROUS SWORD FERN	5 GAL
	PHORMIUM X 'SEA JADE'	NEW ZEALAND FLAX	5 GAL
	PHORMIUM X 'SHIRAZ'	NEW ZEALAND FLAX	5 GAL
	POLYGALA FRUTICOSA 'PETITE BUTTERFLY'	SWEET PEA SHRUB	5 GAL
	SOLANUM JASMINOIDES	POTATO VINE	15GA STAKED
	WOODWARDIA FIMBRIATA	GIANT CHAIN FERN	5 GAL



**CONCEPTUAL PLANTING PLAN**

**KEYED NOTES**

1. Property Line
2. Vehicular Entry
3. Hotel Drop-Off
4. Valet/Garage Entry
5. Driveway Ramp
6. Outdoor Dining
7. Hotel Entry
8. Restaurant Entry
9. Existing Building
10. Walkway(s)
11. Patio
12. Trash Enclosure
13. Tandem Stall Valet Parking Area
14. Valet Aisle Parking Spaces (Compact)



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**GROUND FLOOR PLAN**  
SCALE: 1"=10'



**KEYED NOTES**

- 1. Lounge
- 2. Exit Stairway
- 3. Elevator
- 4. Ice Machine

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**SECOND FLOOR PLAN**  
SCALE: 1"=10'





**KEYED NOTES**

- 1. Lounge
- 2. Exit Stairway
- 3. Elevator
- 4. Ice Machine

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**THIRD FLOOR PLAN**  
SCALE: 1"=10'



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# PACIFIC GROVE HOTEL

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**KEYED NOTES**

- 1. Lounge
- 2. Exit Stairway
- 3. Elevator
- 4. Ice Machine

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**FOURTH FLOOR PLAN**  
 SCALE: 1"=10'



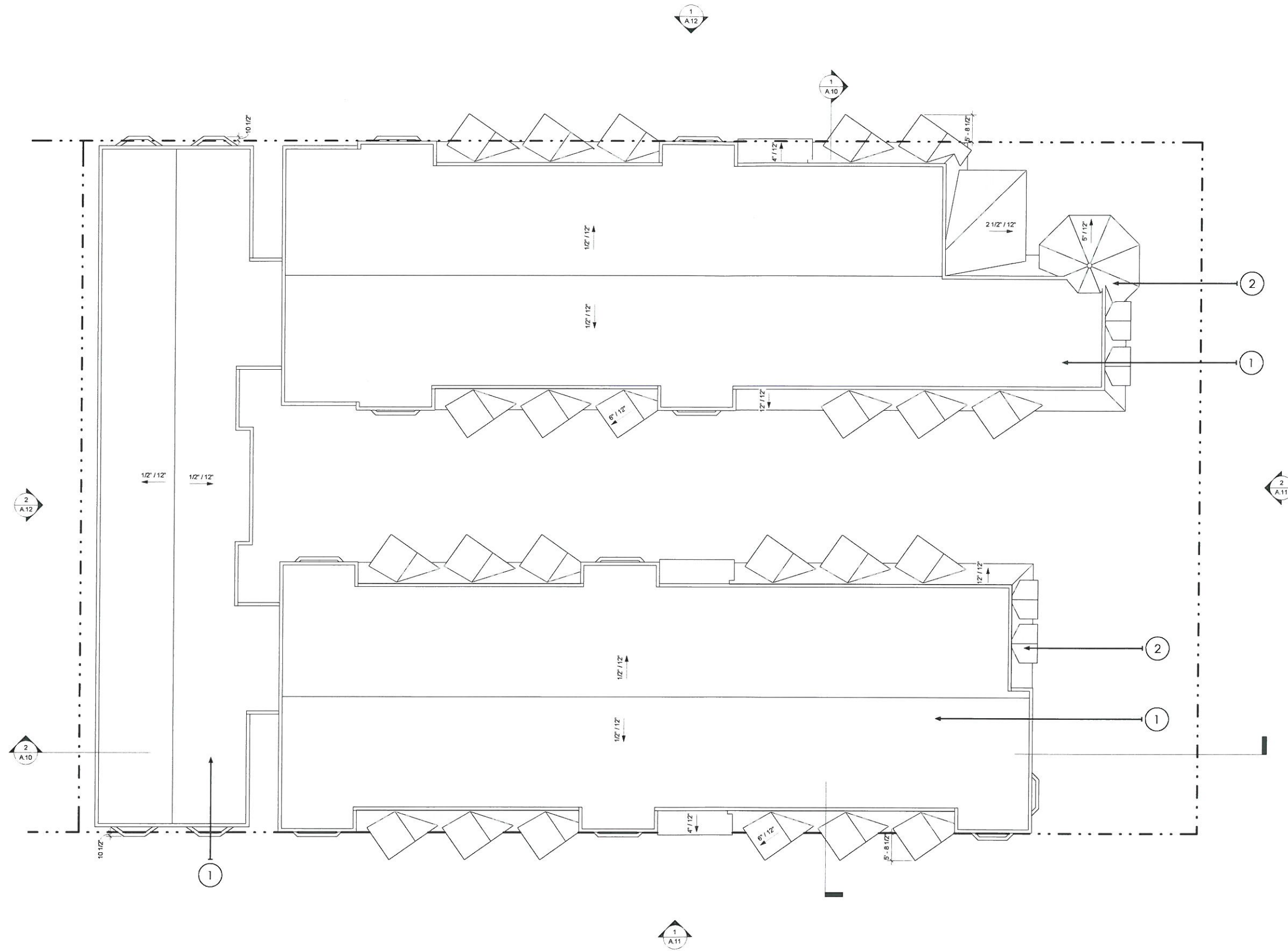
0123-01-C015      DATE: MARCH 14, 2016

PACIFIC GROVE HOTEL

A.8

**KEYED NOTES**

- 1. Flat Roof
- 2. Standing Seam Metal Roof



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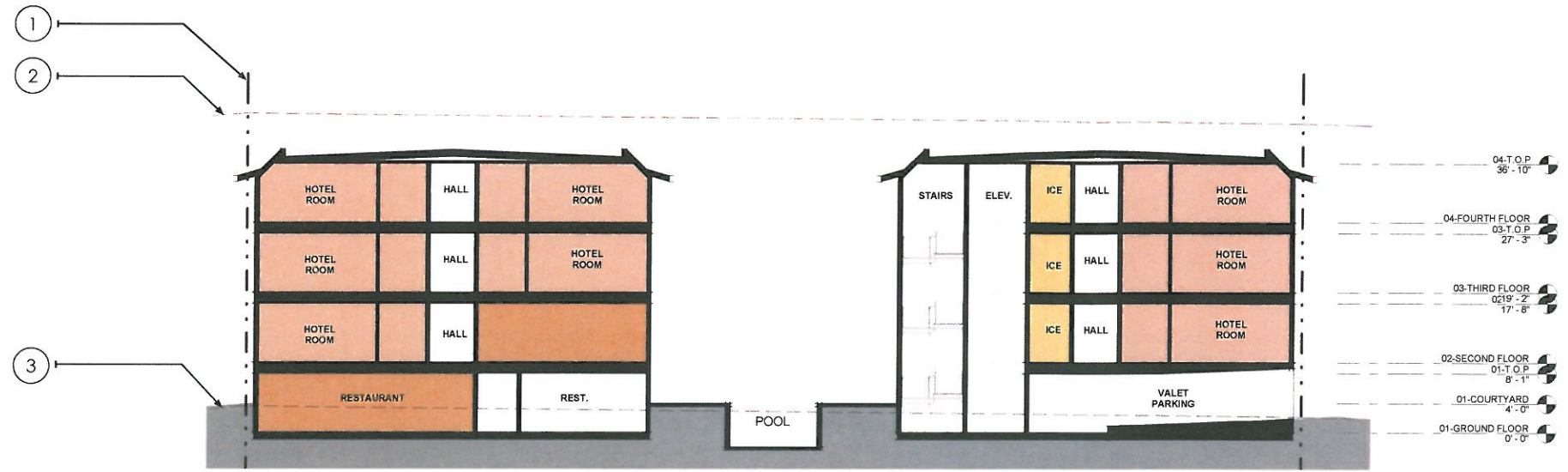
ROOF PLAN  
SCALE: 1"=10'



0123-01-CO15 DATE: MARCH 14, 2016

# PACIFIC GROVE HOTEL

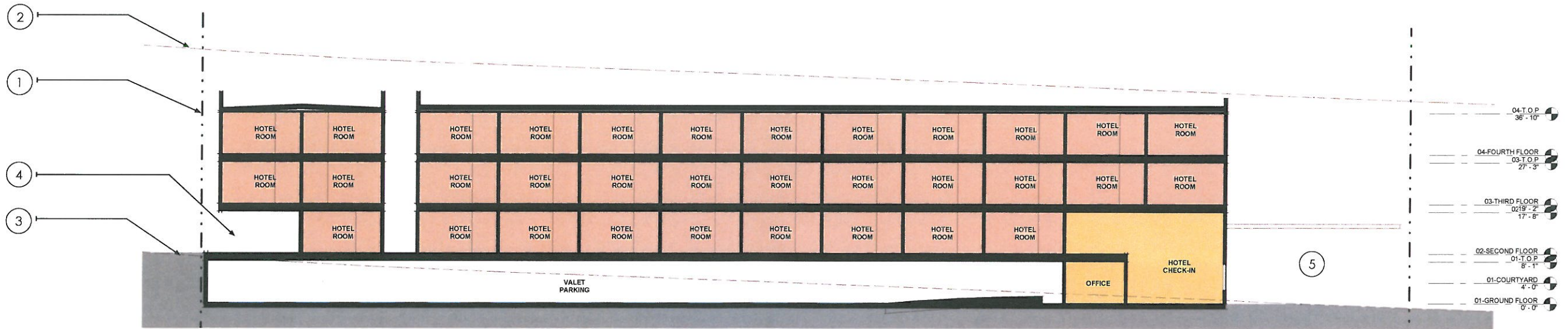
# A.9



Section 1

KEYED NOTES

1. Property Line
2. 40' Height limit from existing grade
3. Existing Grade
4. Holman Building Parking
5. Hotel Drop Off



Section 2

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 BUILDING SECTIONS  
 SCALE: 1"=10'

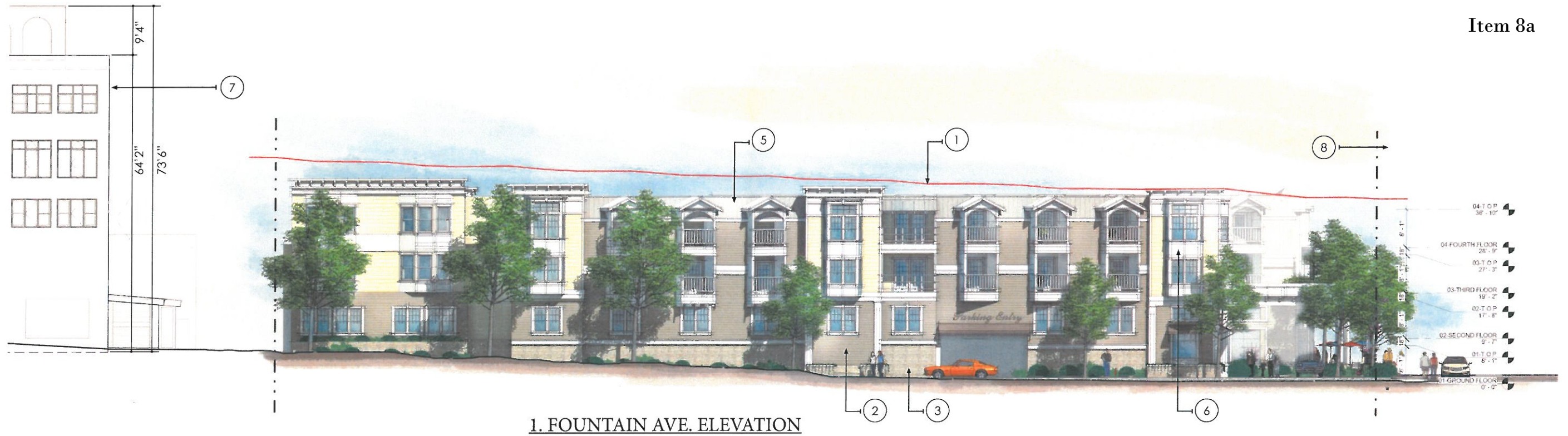
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0123-01-CO15 DATE: MARCH 14, 2016

PACIFIC GROVE HOTEL

A.10



**KEYED NOTES**

- 1. 40' Height limit from existing grade
- 2. Horizontal Siding
- 3. Stone Veneer
- 4. Signage
- 5. Metal Roofing
- 6. Painted Trim and Paneling
- 7. Holman Building
- 8. Property Line

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**BUILDING ELEVATIONS**  
SCALE: 1"=10'



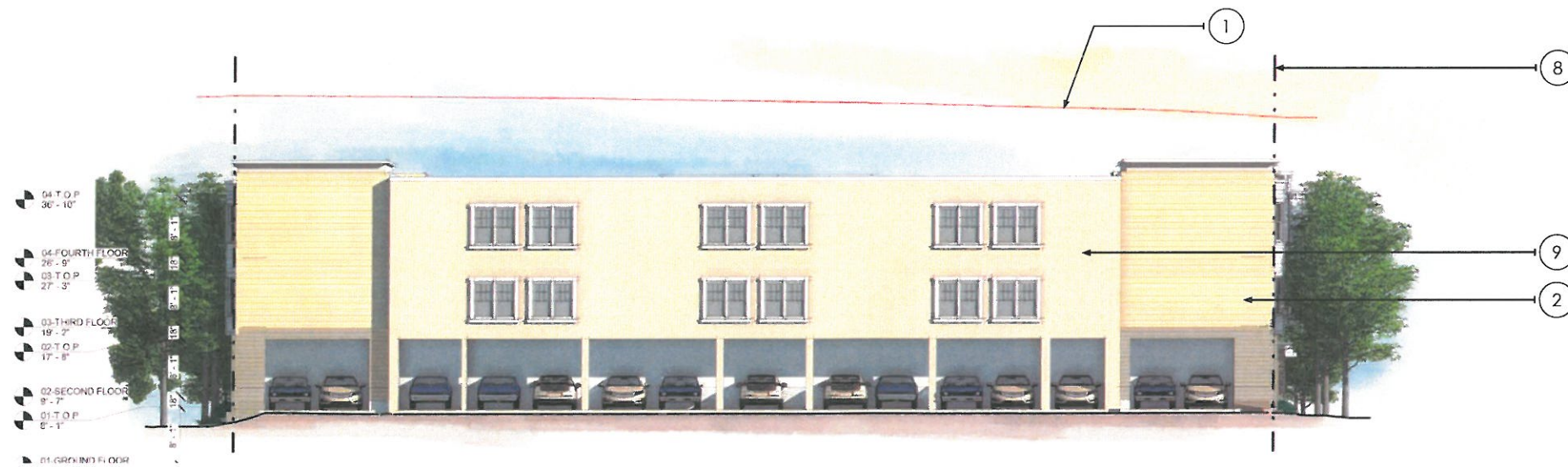
0123-01-CO15 DATE: MARCH 14, 2016

PACIFIC GROVE HOTEL

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1. GRAND AVE. ELEVATION



2. ALLEYWAY ELEVATION

**KEYED NOTES**

1. 40' Height limit from existing grade
2. Horizontal Siding
3. Stone Veneer
4. Signage
5. Metal Roofing
6. Painted Trim and Paneling
7. Holman Building
8. Property Line
9. Cement Plaster Siding

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**BUILDING ELEVATIONS**  
SCALE: 1"=10'



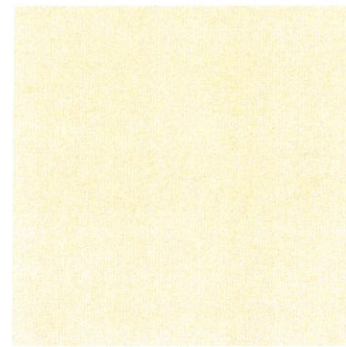
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PACIFIC GROVE HOTEL

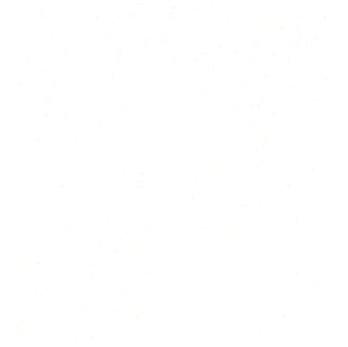
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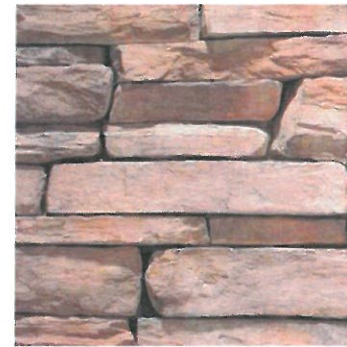
**1. HORIZONTAL SIDING:**  
SHERWIN WILLIAMS PAINT  
SVELTE SAGE SW6165



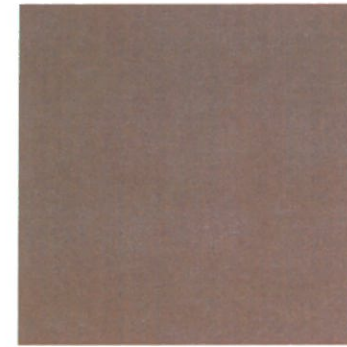
**2. HORIZONTAL SIDING:**  
SHERWIN WILLIAMS PAINT  
MUSLIN SW6133



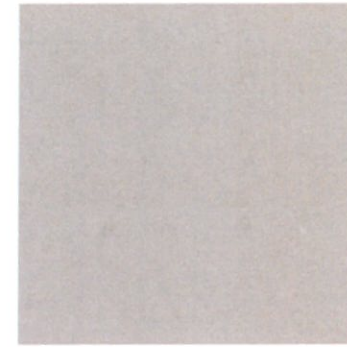
**3. TRIM, FACIA AND  
PANELING:**  
SHERWIN WILLIAMS PAINT  
PURE WHITE SW7005



**4. STONE:**  
EL DORADO STONE  
RUSTIC LEDGE IN PINETOP



**5. AWNINGS:**  
SUNBRELLA FABRICS IN COCOA



**6. METAL ROOFING:**  
STANDING SEAM METAL ROOF  
AEP SPAN IN PARCHMENT

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COLOR MATERIALS